

Historic  
02/04/2025  
VC276

**SCHEDULE 1 TO CLAUSE 43.05 NEIGHBOURHOOD CHARACTER OVERLAY**

Shown on the planning scheme map as NCO1.

**FREEMANS ROAD AND CHERRY AVENUE SPECIAL CHARACTER AREAS, ALTONA NORTH**

**1.0**  
Historic  
02/04/2025  
VC276

**Statement of neighbourhood character**

The significance of these areas is derived from the consistent streetscapes of post-war orange and cream brick dwellings set in garden surrounds. These areas are characterised by single storey dwellings with consistent front and side setbacks, low front fences or an absence of front fences. The consistent characteristics include the low-scale horizontal built form, the proportion and style of the dwellings and use of materials.

The preferred neighbourhood character of the Freemans Road and Cherry Avenue areas is defined by preserving the original dwellings, and supporting new dwellings that include and exhibit the key characteristics of the streetscapes including:

- Double and triple-fronted single storey dwellings.
- Use of brick building materials (orange or cream coloured brick, often with decorative trim brickwork).
- Tiled roofs.
- Generous front setbacks.
- Side setbacks that provide one side for car access, with car structures at the rear.
- Low, matching orange and cream brick front fences, or an absence of front fencing.
- Lawns dotted with trees and bushes, mostly exotic.

**2.0**  
Historic  
02/04/2025  
VC276

**Neighbourhood character objective**

To encourage retention of original dwellings and building features that contribute to the preferred neighbourhood character of the area.

To ensure that new dwellings, or extensions to existing dwellings complement the characteristic pattern of front and side setbacks, low-scale horizontal built form, design and building materials.

To ensure permeable garden space for lawn and vegetation within front setbacks.

**3.0**  
Historic  
02/04/2025  
VC276

**Permit requirement**

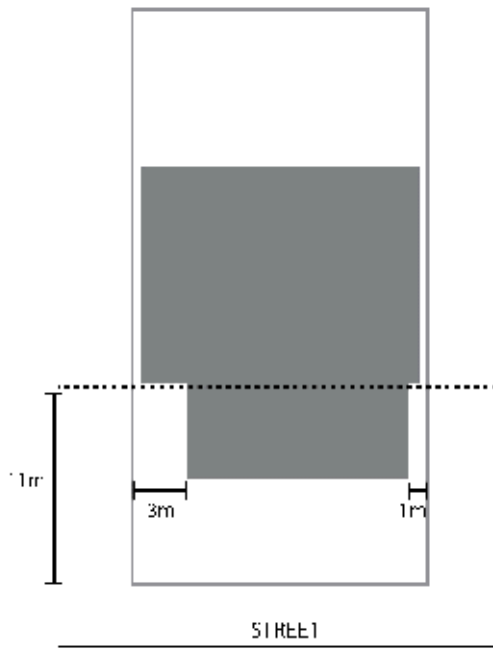
A permit is required to demolish or remove a building.

**4.0**  
Historic  
08/09/2025  
VC282

**Modification to Clause 54 and Clause 55 standards**

| Standard                                | Modified requirement   |
|---|--|
| Street setback<br>A2-1 and B2-1         | <p>Front walls of buildings should be set back from the street at least the average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.</p> <p>Carpports and garages should be set back at least 3 metres behind the front wall of the dwelling.</p> <p>Side street setbacks in accordance with Standard A2-1 and B2-1 continue to apply.</p> |
| Side and rear setbacks<br>A2-3 and B2-3 | <p>A new building within 11 metres of the frontage should be set back at least 1 metre from one side boundary and at least 3 metres from the other side boundary.</p>  |

HOBSONS BAY PLANNING SCHEME

| Standard                     | Modified requirement  |
|------------------------------|---|
|                              | <p>Rear boundary setbacks in accordance with Standards A2-3 and B2-3 continue to apply.</p>  <p>The diagram illustrates a building footprint within a larger rectangular boundary. A dashed horizontal line represents the rear boundary. A vertical dimension line on the left indicates a 1m setback from this boundary to the top of the building. A horizontal dimension line at the bottom indicates a 3m setback from the street to the left side of the building, and a 1m setback to the right side. The word 'STREET' is written below the horizontal dimension line.</p> |
| <p>Front fences<br/>A2-7</p> | <p>A front fence within 3 metres of a street should:</p> <ul style="list-style-type: none"> <li>▪ not exceed 0.5 metres</li> <li>▪ be constructed of brick</li> </ul>   |

5.0  
Historic  
02/04/2025  
VC276

**Other requirements**

| Requirement name     | Requirement   |
|----------------------|---|
| <p>Design detail</p> | <p>The design of new dwellings and extensions to original dwellings should respect the preferred neighbourhood character of the areas, specifically in relation to:</p> <ul style="list-style-type: none"> <li>▪ Scale and built form</li> <li>▪ Roof form and pitch</li> <li>▪ Width of eaves</li> <li>▪ Number of storeys</li> <li>▪ Materials and finishes</li> <li>▪ Façade articulation and detailing</li> </ul> |

## HOBSONS BAY PLANNING SCHEME

| Requirement name | Requirement  |
|------------------|--|
|                  | <ul style="list-style-type: none"><li>▪ Building siting</li><li>▪ Siting and design of vehicle access and car parking structures</li></ul> <p>Building design should complement the predominant double or triple-fronted built forms, use of orange or cream brick, or light coloured weatherboard and tiled roofs wherever any of these characteristics is evident in the streetscape.</p> <p>Hard paving within the front setback should be kept to a minimum to support permeable garden landscape within the frontage.</p> |

**6.0**  
Historic  
02/04/2025  
VC276

### Decision guidelines

None specified